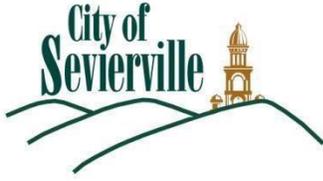


SEVIERVILLE BOARD OF ZONING APPEALS

2/1/2024

5:00 P.M. – Civic Center



Board of Zoning Appeals

AGENDA

2/1/2024

- A. Call to Order
- B. Approval of Minutes – 12/7/2023
- C. Public Forum
- D. Old Business
- E. New Business
 - 1. Case 24-01 – Flag Systems requests a height variance of 86 feet on a non-building structure for Camping World – 210 East Dumplin Valley Road.
- F. Staff Report
- G. Adjournment



**BOARD OF ZONING APPEALS
MINUTES
DECEMBER 7, 2023**

The regularly scheduled meeting of the Sevierville Board of Zoning Appeals was held at the Civic Center, 130 Gary Wade Boulevard, Sevierville, Tennessee on Thursday, December 7, 2023 at 5:58 PM.

There were present and participating:

MEMBERS PRESENT

Vincent Snider, Chairman
Austin Williams, Vice Chairman
Douglas Messer, Secretary
Robbie Fox
Wayne Helton
Daryl Roberts
Butch Stott

STAFF PRESENT

Dustin Smith, Deputy City Administrator
Corey Divel, Development Director
Kristina Rodreick, Senior Planner
Charles Valentine, Building Official
JC Green, Fire Marshal
Jim Ellison, City Surveyor
Brooke Fradd, Recording Secretary

MEMBERS ABSENT

None

Chairman Snider declared a quorum present and announced the meeting would proceed.

APPROVAL OF MINUTES

Mr. Messer made a motion to approve the minutes of the November 2, 2023, meeting. The motion received a second from Mr. Williams and passed with a unanimous vote.

OLD BUSINESS

None

NEW BUSINESS

**CASE 23-20 – CUSTOM CRAFTED CONSTRUCTION, LLC REQUESTS A STRUCTURE HEIGHT VARIANCE
– 1654 VETERANS BOULEVARD, UNIT #43.**

**CASE 23-21 – CUSTOM CRAFTED CONSTRUCTION, LLC REQUESTS A STRUCTURE HEIGHT VARIANCE
– 1654 VETERANS BOULEVARD, UNIT #43.**

Mr. Divel explained that, due to the identical nature of the requests, they would be presented together.

He stated that both structures are almost completed units with some topography issues. Both buildings have frontage on Veterans Boulevard but are accessed from internal subdivision roads. Due to the topography of the lot, the rear of the structures exceed the allowable height as defined by the City's Zoning Ordinance.

The commission and staff discussed how these two structures are the tallest in the development. Additionally, they stated that the other buildings met city standards, and, with modifications, these could also be brought into compliance.

Action Taken

Mr. Helton made a motion to deny the variance request. The motion received a second from Mr. Fox and passed with a unanimous vote.

CASE 23-22 – THE ART COMPANY REQUESTS A VARIANCE TO THE MINIMUM DISTANCE REQUIREMENT FROM ANY SCHOOL, CHURCH, PUBLIC ASSEMBLY, AND/OR RESIDENTIAL ZONING DISTRICT FOR A TATTOO BUSINESS – 1811 PARKWAY.

Mr. Divel explained that this request is due to the 1,000 feet separation requirement for tattoo businesses. The proposed location is zoned Arterial Commercial (AC) and abuts a Low Density Residential (LDR) district directly behind it. The variance would allow the business to encroach into the buffer by 980 feet.

Action Taken

Mr. Stott made a motion to deny the variance request. The motion received a second from Mr. Fox and passed with a unanimous vote.

ADJOURNMENT

There being no further business, the meeting adjourned at 6:19 PM.

Vincent Snider, Chairman

Douglas Messer, Secretary

Brooke Fradd, Recording Secretary



City of Sevierville Board of Zoning Appeals

Case Number: 24-01

Action Requested: Variance Request

Applicant: Flag Systems

Address: East Dumplin Valley Rd

Tax Map: 008F

Group/Block: A

Lot No./Parcel No: 001-009

Lot Size:

Zoning District: AC (Arterial Commercial District)

Request Consideration: A variance of 86 feet to allow a 130' flag pole

GENERAL NOTES:

PRIMARY CODES AND SPECIFICATIONS:

1. GENERAL BUILDING CODE:
 - A. INTERNATIONAL BUILDING CODE, 2012
 - B. NAAM FP-1001-97
2. STRUCTURAL STEEL CODES:
 - A. SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, (AISC 360-10).

DESIGN LOADS:

1. WIND LOADS:
 - A. LOADS BASED ON ASCE 7-10 WIND LOAD CRITERIA. BUILDING CATEGORY I. BASIC WIND SPEED, 3 SECOND GUST ULTIMATE 115 MPH (90 MPH NOMINAL) WIND EXPOSURE CATEGORY C. GUST EFFECT FACTOR, G_e 1.14
 - B. FLAG LOAD 724 LB MAX. BASED ON MAX 30'X60' POLYESTER FLAG

FOUNDATIONS:

1. FOUNDATION DESIGN IS BASED ON TABLE 1804.2, CLASS 5
2. CAST IN PLACE FOUNDATION CALCULATED WITH SECTION 1807.3.2.1 NON-CONSTRAINED CASE

CAST-IN-PLACE CONCRETE:

1. THE LATEST EDITION OF THE FOLLOWING ACI STANDARDS APPLY:
 - ACI 318 (CODE) ACI 304 (PLACING)
 - ACI 306 (WINTER CONCRETING) ACI 315 (DETAILING)
 - ACI 305 (HOT WEATHER CONCRETING) ACI 347 (FORMWORK)
 - ACI 211.1 (MIX PROPORTIONING) ACI 301 (SPECIFICATIONS)
2. ALL CONCRETE SHALL BE NORMAL WEIGHT (148 PCF DRY DENSITY, MIN), WITH MIXES DESIGNED TO MEET A MINIMUM OF 2500 PSI 28-DAY COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED.
3. A CONCRETE MIX DESIGN FOR EACH UNIQUE COMBINATION OF STRENGTH, COARSE AGGREGATE GRADATION AND WATER CEMENT RATIO SPECIFIED SHALL BE PREPARED BY THE SUPPLIER OR AN INDEPENDENT TESTING LABORATORY AND BE SUBMITTED FOR REVIEW PRIOR TO CASTING ANY CONCRETE. MIXES THAT WILL BE TRANSPORTED AT THE PROJECT SITE BY PUMPING SHALL BE SPECIFICALLY DESIGNED FOR PUMPING.

REINFORCING STEEL (WHERE APPLICABLE):

1. REINFORCING STEEL - ASTM A 615, GRADE 60.
2. MINIMUM REINFORCING STEEL CLEAR COVER (U.N.O.):
 - A. CONCRETE CAST DIRECTLY AGAINST EARTH 3"

STRUCTURAL STEEL:

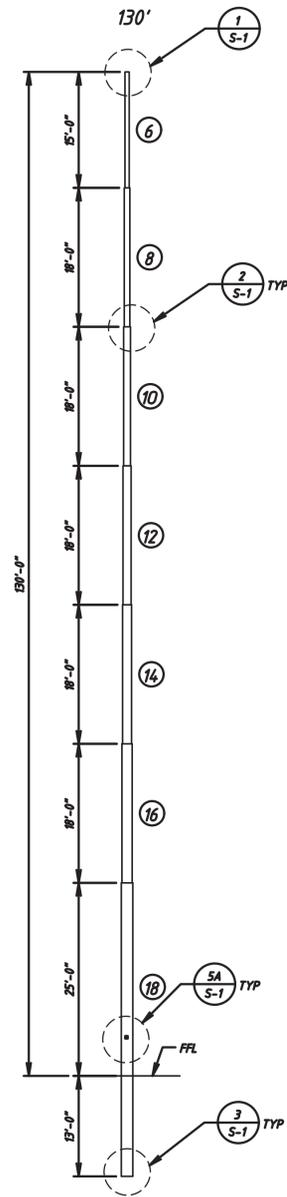
1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
2. MATERIALS:
 - HSS SHAPES ASTM A500, GRADE B
 - ANCHOR RODS ASTM F1554, GRADE 55 TYPE S1 (UNO)
 - WELDING ELECTRODES AWS D11, E70 SERIES
3. WHERE SPECIFIED, NON-SHRINK, NON-METALLIC GROUT WITH A 28 DAY STRENGTH OF 5000 PSI SHALL BE USED UNDER BASE PLATES AND SHALL CONFORM TO CORPS OF ENGINEERS CRD-C621, FACTORY PREMIX GROUT. SEE SPECIFICATIONS FOR TESTING REQUIREMENTS.
4. ENGINEER SHALL BE CONTACTED FOR APPROVAL OF ANY FIELD MODIFICATIONS OF ANCHOR BOLTS OR RODS AND COLUMN BASE PLATES (PER OSHA).
5. TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
6. PROVIDE ONE SHOP COAT OF PRIMER (TT-P-636) ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.
8. ALL WELD OPERATORS SHALL BE CURRENTLY AWS QUALIFIED.
9. SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. USE 3/16" FILLET WELD MINIMUM.
10. FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED AS DETAILED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED. USE 3/16" FILLET WELD MINIMUM.

STEEL SEGMENT LEGEND:

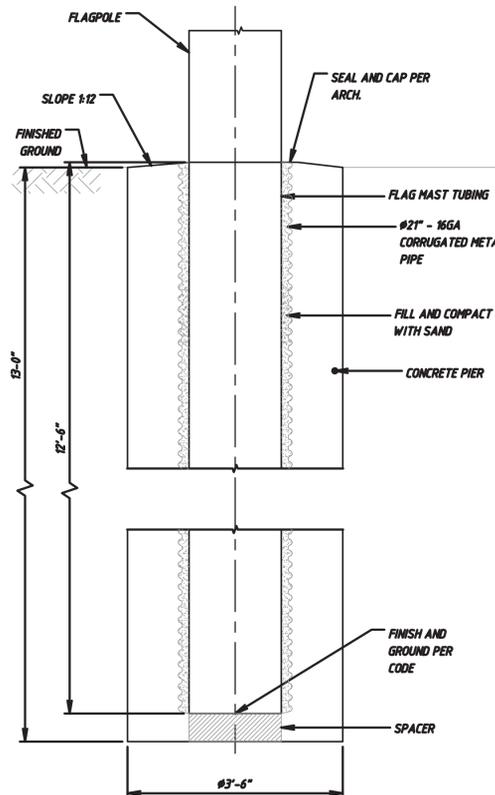
6 - HSS 6.625X.280
8 - HSS 8.625X.322
10 - HSS 10.75X.375
12 - HSS 12.75X.4375
14 - HSS 14.0X.500
16 - HSS 16.0X.5625
18 - HSS 18.0X.6375

TABLE OF DIMENSIONS

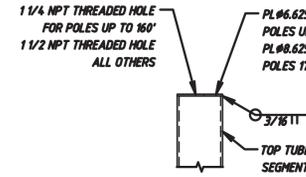
LARGER DIAM. SEGMENT HSS	PLATE 1	PLATE 1 HOLE DIAMETER	PLATE 2	PLATE 2 HOLE DIAMETER	DISTANCE A
8.625X0.322	#7.875" X 0.375"	#5.5"	#8.625" X 0.375"	#6.75	12"
10.75X0.375	#9.875" X 0.500"	#7.5"	#10.75" X 0.500"	#8.75	15"
12.75X0.375	#11.875" X 0.500"	#9.5"	#12.75" X 0.500"	#10.875	20"
14.0X0.375	#13.125" X 0.625"	#11.5"	#14.0" X 0.625"	#12.875	20"
16.0X0.375	#15.125" X 0.75"	#12.5"	#16.0" X 0.75"	#14.125	24"
18.0X0.375	#17.125" X 0.875"	#14.5"	#18.0" X 0.875"	#16.125	27"



FLAG POLE ELEVATION
SCALE 3/32" = 1'-0"



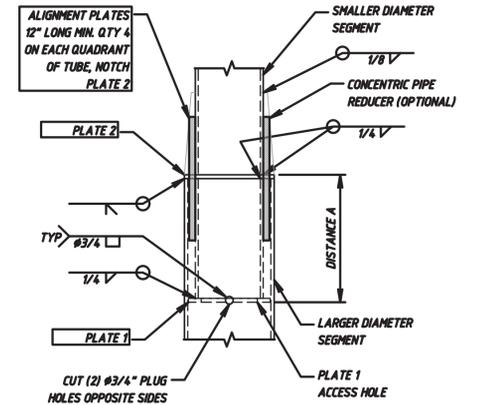
FOOTING DETAIL
SCALE: 1/8" = 1'-0"



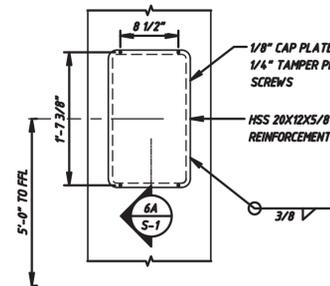
DETAIL 1
SCALE 1" = 1'-0"

LEAVE BOTTOM OPEN IF EMBEDDED IN CORRUGATED PIPE WITH COMPACTED SAND

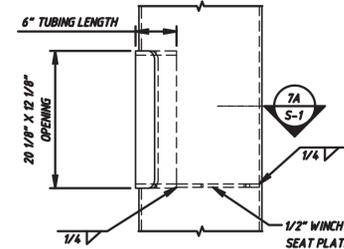
DETAIL 3
SCALE 1" = 1'-0"



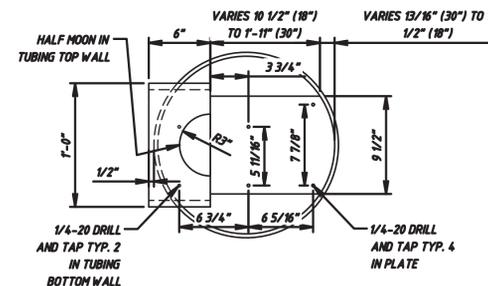
DETAIL 2
SCALE 1 1/2" = 1'-0"



DETAIL 5A
SCALE: 1" = 1'-0"



DETAIL 6A
SCALE: 1" = 1'-0"



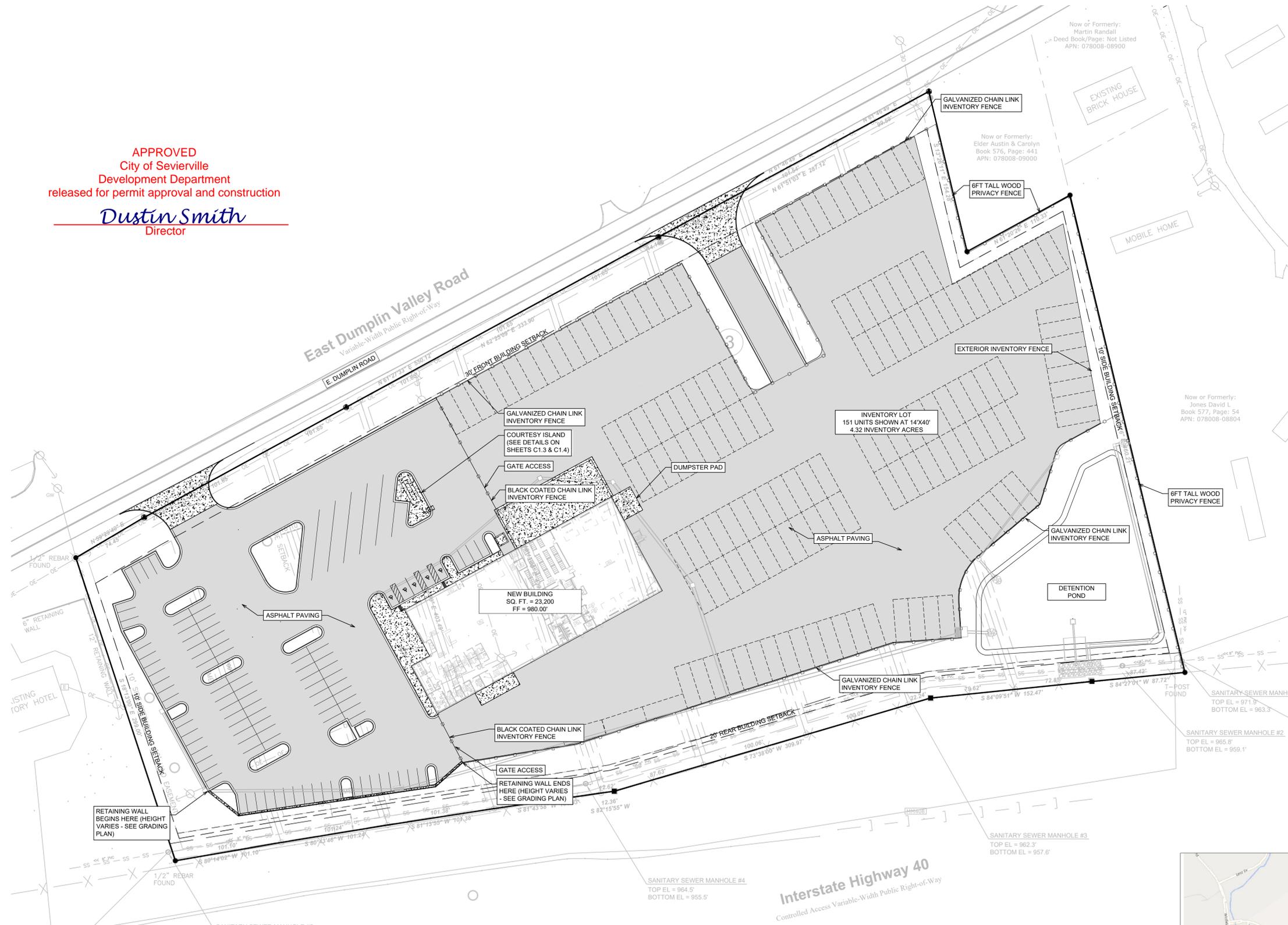
DETAIL 7A
SCALE: 1 1/2" = 1'-0"
DETAIL FOR ELECTRICAL WINCH TERN 4771

OPTION ELECTRICAL WINCH

REV	DATE	REVISION	DRW	CHK	APP
CLIENT FLAG SYSTEMS					
ROCKY SUMMIT ENGINEERING CONSULTING, LLC.					
TBPE FIRM #: 14437					
PROJECT CAMPING WORLD					
LOCATION EAST DUMPLIN VALLEY ROAD SEVIERVILLE, TN, 37764					
DRAWING TITLE: 130' FLAGPOLE FOUNDATION AND STEEL POLE DETAILS					
Drawn Date	MEX 01/15/24	Check. Date	FPRE 01/15/24	App. Date	FPRE 01/15/24
Project Number	2330	SCALE	AS NOTED	Dwg Sheet Size	D
Drawing No.	CAM-S-1				REV



APPROVED
 City of Sevierville
 Development Department
 released for permit approval and construction
 Dustin Smith
 Director



OVERALL SITE PLAN

SCALE 1" = 50'

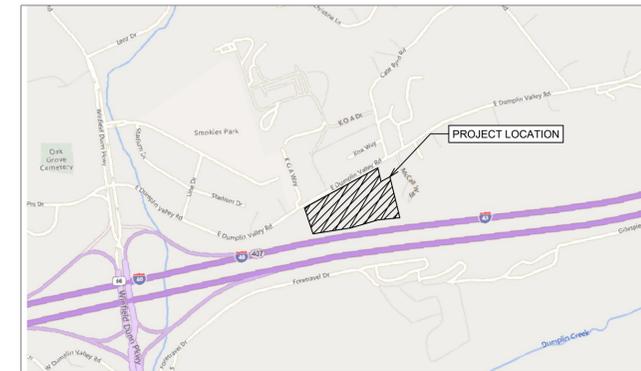
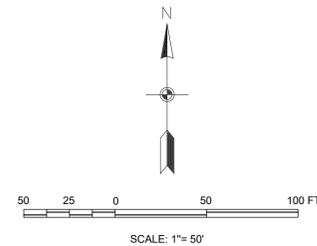
- 113 TOTAL RETAIL PARKING SPACES ARE PROVIDED INCLUDING 5 ADA ACCESSIBLE SPACES (SEE PARKING CALCULATIONS THIS SHEET)
- SITE DEVELOPMENT AREA: (+/-) 9.86 ACRES
- ZONE DISTRICT: ARTERIAL COMMERCIAL
- BUILDING SETBACKS:
 - FRONT SETBACK = 30'
 - SIDE SETBACK = 10'
 - REAR SETBACK = 20'

CUSTOMER RETAIL AREA:
 11,000 SF PROVIDED
REQUIREMENT:
 1 SPACE PER 250 SF
SPACES REQUIRED:
 44 SPACES

RV SALES & REPAIR AREA:
 6,000 SF SALES/SERVICE OFFICE/STORAGE
 6,000 SF SERVICE BAYS (6 TECHNICIANS TOTAL)
REQUIREMENT:
 1 SPACE PER 400 SF OF OFFICE AREA
 1 SPACE PER SERVICE EMPLOYEE
 1 SPACE PER 250 SF OF SERVICE AREA
SPACES REQUIRED:
 45 SPACES

TOTAL SPACES REQUIRED:
 89 SPACES
TOTAL SPACES PROVIDED:
 113 SPACES

Interstate Highway 40
 Controlled Access Variable-Width Public Right-of-Way



VICINITY MAP

SCALE 1" = 1000'



Project number:
 Date: 03 November, 2022
 Revisions:

OVERALL
 SITE PLAN

C1.1



Legend

- City Limits
- Parcels

