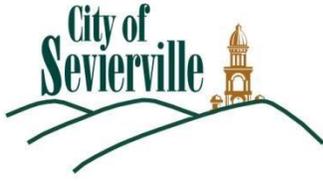


HISTORIC ZONING COMMISSION

2/15/2024

4:00 P.M. – Civic Center



Historic Zoning Commission

AGENDA

2/15/2024

- A. Call to Order
- B. Approval of Minutes – 1/12/2024
- C. Old Business
- D. New Business
 - 1. Compass Ventures requests sign approval for The Davis – 212 Court Avenue.
 - 2. Compass Ventures requests facade approval for Nichols Heir – 133 Bruce Street.
- E. Adjournment



HISTORIC ZONING COMMISSION

MINUTES

JANUARY 12, 2024

The special called meeting of the Sevierville Historic Zoning Commission was held at the Civic Center, 130 Gary Wade Boulevard, Sevierville, Tennessee on Friday, January 12, 2024, at 4:00 PM.

There were present and participating:

MEMBERS PRESENT

Doyle Jones, Chairman
Austin Williams, Vice-Chairman
Travis Bradley, Secretary
Justin Duncan
Mark Pinkham
Rodney Tarwater

STAFF PRESENT

Dustin Smith, Deputy City Administrator
Corey Divel, Development Director
Kristina Rodreick, Senior Planner
Charles Valentine, Building Official
Brooke Fradd, Recording Secretary

MEMBERS ABSENT

Joey Ohman

Chairman Jones declared a quorum present and announced the meeting would proceed.

APPROVAL OF MINUTES

Mr. Duncan made a motion to approve the minutes of the December 8, 2023 meeting. The motion received a second from Mr. Pinkham and passed unanimously.

OLD BUSINESS

None

NEW BUSINESS

MS PROPERTIES REQUESTS FAÇADE APPROVAL FOR REDS – 114 COURT AVENUE.

Mr. Divel informed the commission that this building has been designated a contributing structure to the historic district. He presented photos of the existing façade in addition to historic photos. He explained that the façade work has included a change of windows, added masonry with brick veneers, and new paint colors.

The commission considered the changes. Mr. Jones suggested that the updates to the lower level should be continued to the second story façade. He also questioned the plywood in front of the second-floor windows. Mr. Valentine explained that the applicant has attempted to repair the original windows, and the plywood is a temporary measure until he is able to get the windows restored.

Action Taken

Mr. Jones made a motion to approve the façade, subject to the cleaning of the windowsills in addition to the removal or painting of the plywood in front of the windows on the second floor of the structure. Such updates would be reviewed and approved by City staff. The motion received a second from Mr. Pinkham and passed unanimously.

ADJOURNMENT

There being no further business, the meeting adjourned at 4:18 PM.

Doyle Jones, Chairman

Travis Bradley, Secretary

Brooke Fradd, Recording Secretary



Historic Preservation Commission

Development Department Staff Report

ADDRESS – 212 COURT AVE

PARCEL ID(S)- 049N A 018.00

PROJECT- THE DAVIS HOTEL

CONTRIBUTING- NO

<u>Applicant(s):</u> Compass Ventures	<u>Owner(s):</u> Davis Hotel Group
<u>Current Use:</u> Vacant	<u>Proposed Use:</u> Boutique Hotel

Property Background: According to tax records, the property was originally constructed in 1900. The improvements for the façade of the building were originally approved by the HPC on 3-3-22.

Surrounding Area: The adjoining Pinchy’s Restaurant was renovated in 2022.

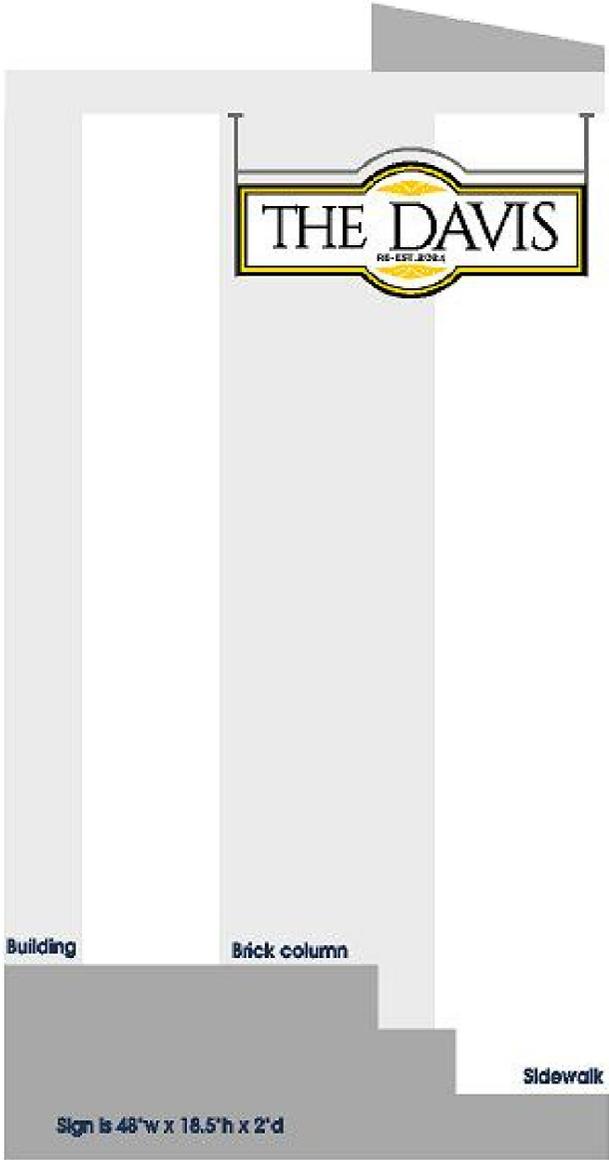
Request: Sign hanging from front of building & sign (either hanging or mounted) on back of building

Specific Considerations:

When considering whether to grant a Certificate of Appropriateness , the Historic Zoning Commission will consider:

- Are the proposed actions are in harmony with the intent of the District?
- Will the proposed alternation be esthetically consistent with other structures in the District?
- Do the changes comply with the Secretary of Interior’s Standards for Rehabilitation?
- Will the structure meet established zoning requirements?
- Does the project meet the standards set forth in this guidance document?
- In the case of removal, are there any other choices that could save the project in manner that was both consistent with the standards and economically viable?

The proposed sign is consistent with the other requests in the area related to size, scale, material and architectural details.



Choi
STOUN Studios
STAINED GLASS & SIGNS
DESIGNER'S CHAIRMAN/OWNER/ARTIST 11/17

phone: 865.654.6221
chris@stounstudios.com
p.o. box 4416
sevierville, Tennessee 37864
www.stounstudios.com

job name
scale
date

Sign relative to building
not to scale
29 Jan., 2024

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48"w x 18.5"h x 2"d.
Double-faced hanging sign.
23K gold leaf on flourishes and border.

OTTOLINI STUDIOS
STAINED GLASS & SIGNS

06197416.CRAFTS@GMAIL.COM 1/7/24

phone: 865.654.6221
charles@ottolinistudios.com
p.o. box 4416
sevierville, tennessee 37864
www.ottolinistudios.com

job name
scale
date

Davis Hotel sign
not to scale
25 January, 2024

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Historic Preservation Commission

Development Department Staff Report

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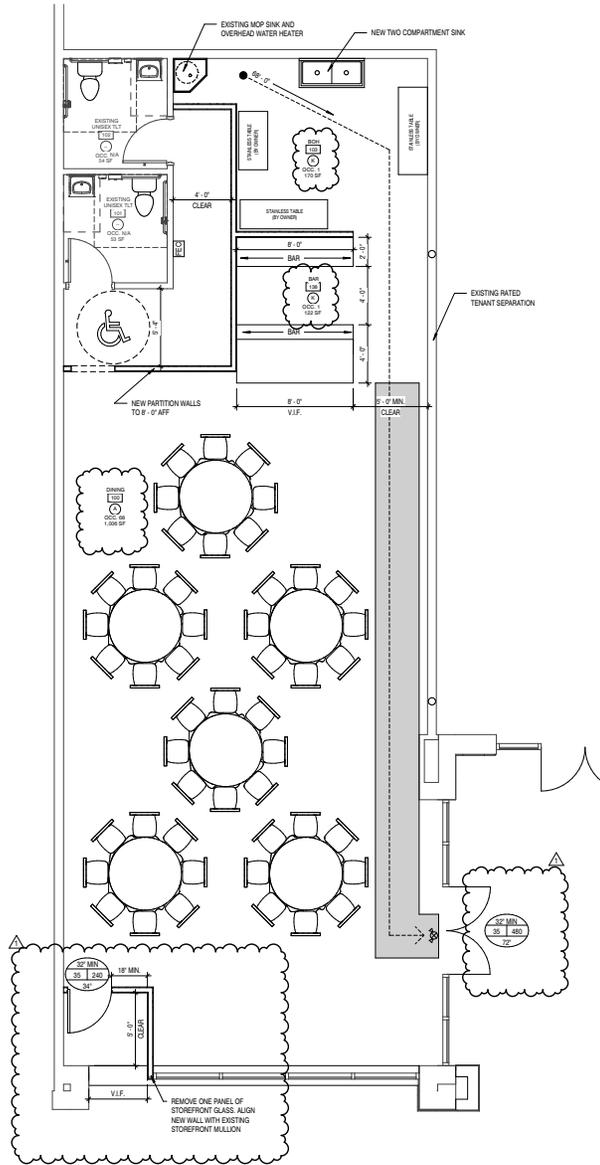
133 Bruce St

Modifications

Legend

Glass panel to be removed and inset 5 feet. Existing facade to be matched.





1 FIRST FLOOR-WORKING
1/4" = 1'-0"

LIFE SAFETY PLAN LEGEND

AREA OCCUPANCY TAG

- AREA NAME
- AREA NUMBER
- AREA OCCUPANT TYPE
- AREA OCCUPANT LOAD
- AREA SQUARE FOOTAGE

EXIT SIGN

POSTING OF OCCUPANT LOAD PER SECTION 1024.3

Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space, for the intended configurations.

INDICATES DISTANCE TO EXIT

DOOR / STAIR EGRESS TAG

REG WIDTH

ACTUAL LOAD

MAX LOAD

ACTUAL WIDTH

0 HOUR RATED WALL

1 HOUR RATED WALL

PATH OF TRAVEL

NOTICE OCCUPANCY

428

EXAMPLE OF OCCUPANT LOAD SIGN

TABLE 1021.2(2)

STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES

STORY	OCCUPANCY	MAXIMUM OCCUPANTS PER STORY	MAXIMUM EXIT ACCESS TRAVEL	
			MAXIMUM	MINIMUM
First story or basement	A, B ¹ , E, F ¹ , M, U, S ¹	40 occupants	75 feet	75 feet
	H-2, H-3	3 occupants	25 feet	25 feet
	H-4, H-5, L, R, 1, R-2 ¹ , R-4	10 occupants	75 feet	75 feet
	S	20 occupants	100 feet	100 feet
Second story	B, F, M, S	20 occupants	75 feet	75 feet
Third story and above	NP	NA	NA	NA

For St. 1 foot = 304.8 mm

NP - Not Permitted

NA - Not Applicable

MAXIMUM TRAVEL DISTANCE PER IBC 1016.2

OCCUPANCY	SPRINKLERED	MAXIMUM TRAVEL DISTANCE	
		MAXIMUM	MINIMUM
A	YES	200 FT	200 FT
B	YES	300 FT	200 FT
E	YES	200 FT	200 FT
F-1	YES	200 FT	200 FT
F-2	YES	400 FT	300 FT
H-1	YES	75 FT	NA
H-2	YES	100 FT	NA
H-3	YES	150 FT	NA
H-4	YES	175 FT	NA
H-5	YES	200 FT	NA
L-1	YES	200 FT	NA
L-2	YES	200 FT	NA
L-3	YES	200 FT	NA
L-4	YES	200 FT	NA
M	YES	200 FT	200 FT
R	YES	200 FT	200 FT
S-1	YES	200 FT	200 FT
S-2	YES	400 FT	300 FT
U	YES	400 FT	300 FT



compass

2026 RED BANK RD
SEVIERVILLE, TN 37876

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2024 INTERNATIONAL BUILDING CODE (IBC) AND THE 2024 INTERNATIONAL FIRE CODE (IFC). THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

A TENANT FINISH OUT FOR:
NICHOLS HEIR @ 133 BRUCE ST

133 BRUCE ST
SEVIERVILLE, TN 37862



THIS DRAWING IS ISSUED FOR:
 REVIEW ONLY
 PERMITTING ONLY
 SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS

Date: 11/29/2023

Revisions:

No.	Date
1	01/18/24

Comm. No.
19009

DRAWING TITLE:
LIFE SAFETY

Sheet No.

LS